



Peconic Home Inspections, LLC  
[www.HomeInspectionPHI.com](http://www.HomeInspectionPHI.com)

# Inspection Report



123 Lane  
Suffolk, New York 11900

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

1 of 72

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# Peconic Home Inspections, LLC

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## Definitions

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NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable	Functional with no obvious signs of defect.
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Not Inspected	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
Safety	Item is a safety issues and should be corrected.
Defective	Item needs immediate repair or replacement. It is unable to perform its intended function.
Marginal	Item is not fully functional and requires repair or servicing.
Maintenance Items	Item requires maintenance and servicing.

## General Information

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Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit and use of the Client(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

All comments in the report should be considered. All costs associated with further inspections, re-inspections and repair or replacement of items or components should be considered before purchasing the property. Peconic Home Inspections reserves the right to make additions or corrections to this report for thirty (30) days. This includes, but is not limited to, changing the status of a system or component when reviewing and re-evaluating the conditions observed. This Inspection Report and all its parts are for the sited Client use Only . Any other Parties other then the Client sited in this report who rely on this report does so at their on risk.

Inspector does not photograph every defect. Please read the entire report

### Property Information

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Property Address 123 Lane  
City Suffolk State New York Zip 11900  
Contact Name Real Estate Agent

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

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## General Information (Continued)

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Phone 631 123 4567 Email: Agent.com

### Client Information

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Client Name Mr & Mrs Smith

Client Address 123 Main

City Brooklyn State New York Zip 11222

Phone 631 123 4567 Other: NA

E-Mail Home buyer.com

### Inspection Company

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Inspector Name Bob Hayes

Company Name Peconic Home Inspections, LLC

Inspection Company Web Site www.HomeInspectionPHI.com

NYS Inspector License # 16000054818

Phone 631 594 1923 Fax NA

E-Mail bob@homeinspectionphi.com

File Number 2018

Amount Received \$

### Conditions

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Others Present Client, Agents. Property Occupied Furnishings but no occupants.

Estimated Age Listing. Entrance Faces North.

Inspection Date 2018

Start Time Noon End Time 3pm

Electric On Yes

Gas/Oil On Yes

Water On Yes

Temperature 74 deg F.

Weather Clear. Soil Conditions Dry.

Space Below Grade Slab.

Building Type Post Modern. Garage None.

Sewage Disposal Septic, not inspected. How Verified Agent.

Water Source Public. How Verified Agent., Visual.

Additions/Modifications Ask about CO's for any additions or modifications.



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## Lots and Grounds

Fatalities and injuries have been know to occur due to deck failures. Peconic Home Inspections does not perform engineering calculations on decks or any other building components.

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Acceptable

Driveway: Stone.



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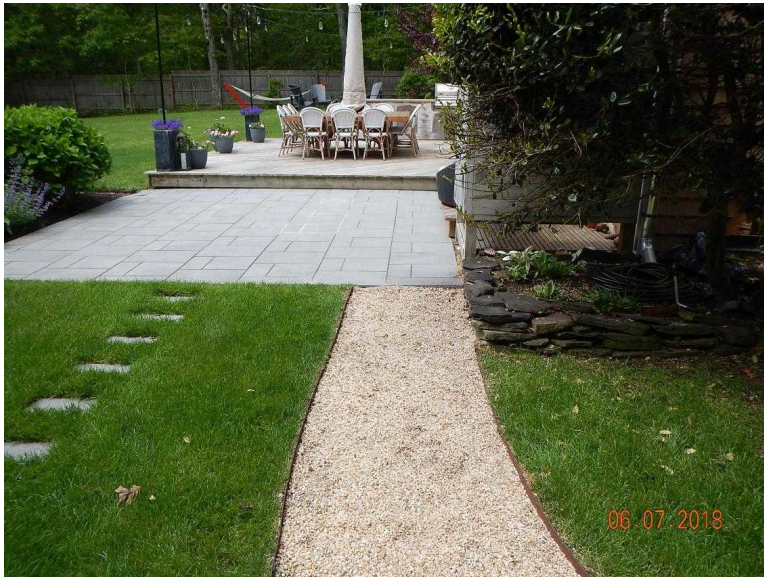
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## Lots and Grounds (Continued)

Acceptable

Walks: Stone.





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## Lots and Grounds (Continued)

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Acceptable

Steps/Stoops: Wood.



Acceptable

Patio: Stone tiles.



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## Lots and Grounds (Continued)

Acceptable

Deck: Wood.



Acceptable

Balcony: Wood.





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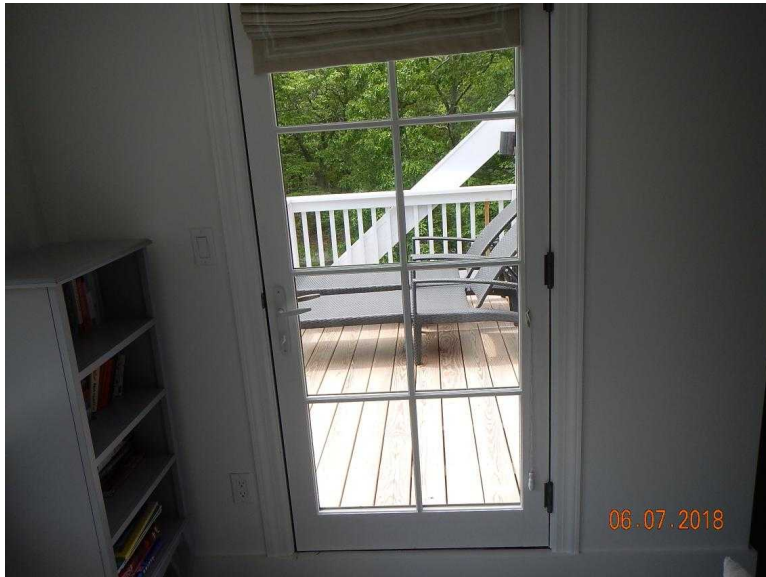
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## Lots and Grounds (Continued)

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Balcony: (continued)





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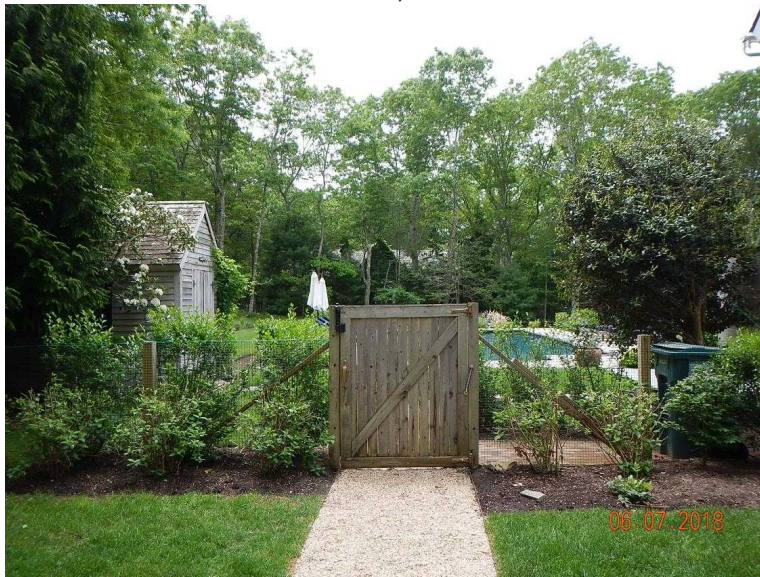
## Lots and Grounds (Continued)

Maintenance Items Grading: Minor slope towards the front right corner of house. Improper soil slope towards foundation, recommend landscaping to divert moisture from running towards foundation.



Acceptable  
Acceptable  
Acceptable

Vegetation: Trees, Shrubs.  
Exterior Surface Drain: Surface drain.  
Fences: Wire - Deer Fence, Wood.



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## Lots and Grounds (Continued)

Not Inspected

BBQ - built-in Not operational at the time of the inspection. Gas was turned off.



## Exterior Surface and Components

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Acceptable Functional with no obvious signs of defect.

Not Present Item not present or not found.

Not Inspected Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

Safety Item is a safety issues and should be corrected.

Defective Item needs immediate repair or replacement. It is unable to perform its intended function.

Marginal Item is not fully functional and requires repair or servicing.

Maintenance Items Item requires maintenance and servicing.

All locations. Exterior Surface

Acceptable, Maintenance Items Type: Cedar shakes. Earth/wood contact, may attract wood destroying insects. Recommend that soil is 6 inches away from siding or sill plates.



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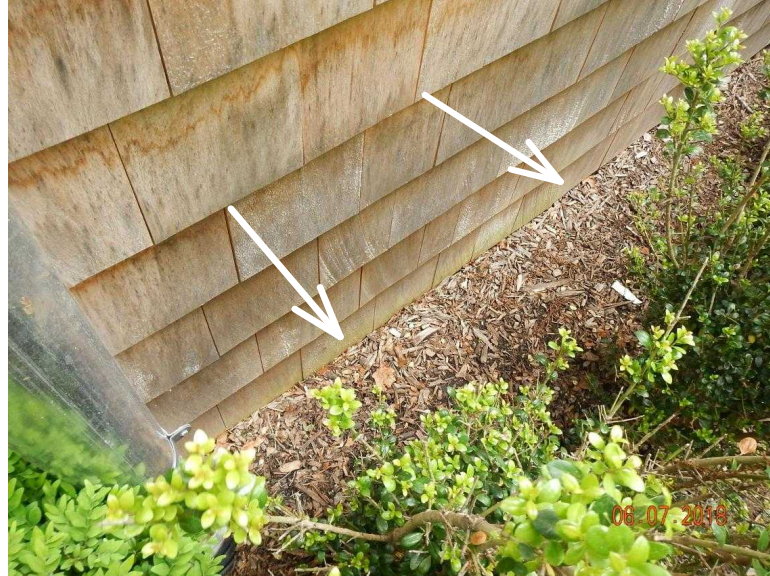
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## Exterior Surface and Components (Continued)

Type: (continued)



Acceptable  
Acceptable  
Acceptable  
Not Present  
Acceptable

Trim: Wood.  
Fascia: Wood.  
Soffits: Wood.  
Door Bell:  
Entry Doors: Wood.



Acceptable  
Acceptable  
Acceptable

Patio Door: French door.  
Windows: Vinyl double hung.  
Exterior Lighting: Surface mounted lamps front and rear

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## Exterior Surface and Components (Continued)

Acceptable

Exterior Electric Outlets: 110 VAC GFCI





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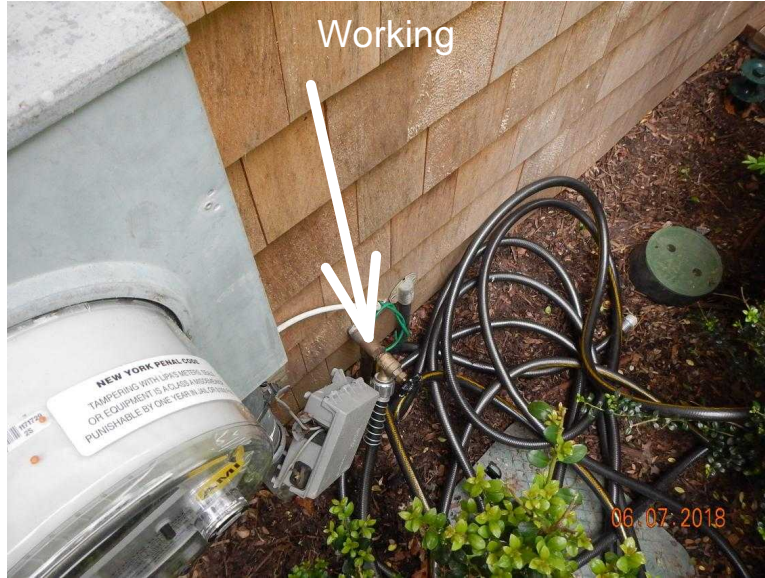
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## Exterior Surface and Components (Continued)

Acceptable

Hose Bibs: Gate valve.





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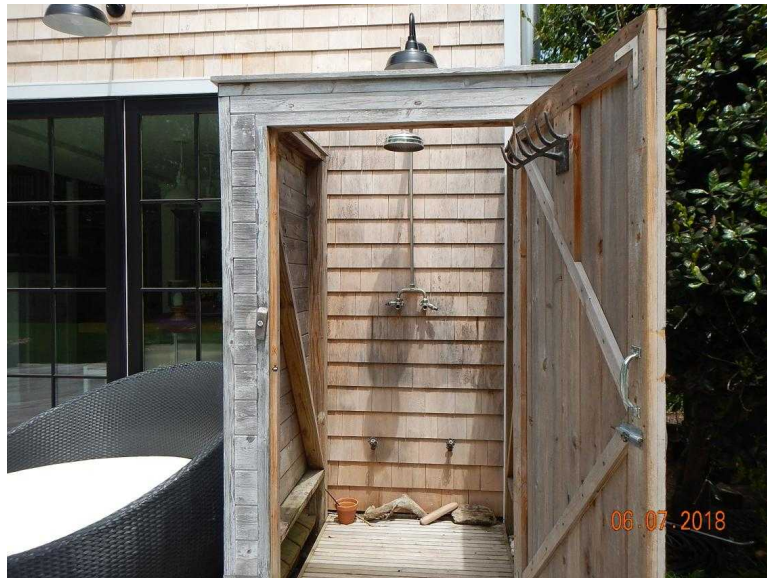
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## Exterior Surface and Components (Continued)

Not Inspected

Outside Shower: Not functional at time of inspection. Due to damaged pipe replacement



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## Exterior Surface and Components (Continued)

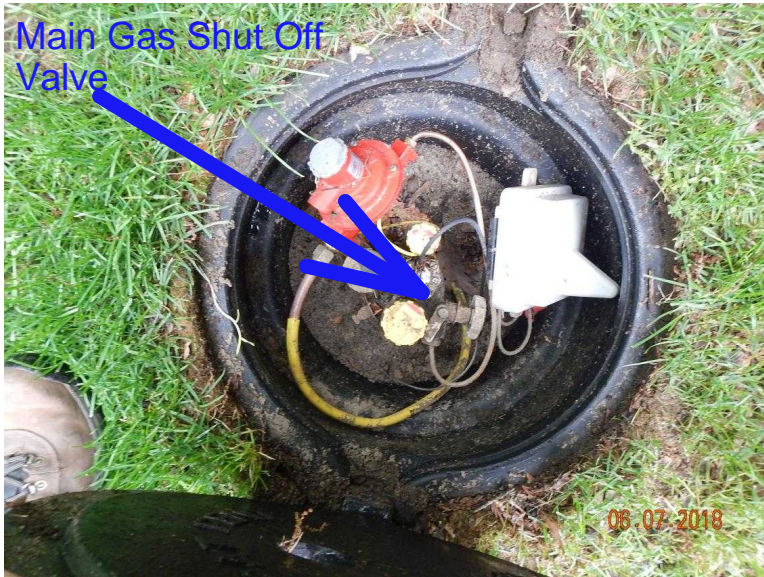
Acceptable

Main Gas Valve: Propane tank in ground - shut off located at tank - side yard.

Propane Tank



Main Gas Shut Off Valve





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## Exterior Surface and Components (Continued)

Main Gas Valve: (continued)



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## Outbuilding

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Marginal                        Item is not fully functional and requires repair or servicing.

Maintenance Items        Item requires maintenance and servicing.

Back yard. Pool Shed/storage. Outbuilding

Acceptable

Exterior Surface: Wood.



Acceptable

Roof: Asphalt shingle.

Acceptable

Ceiling: Exposed framing.

Acceptable

Walls: Exposed framing.

Acceptable

Floor: Plywood.

Acceptable

Foundation: Block.

Acceptable

Doors: Wood.



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## Outbuilding (Continued)

Acceptable

Windows: Metal slider.



Defective

Electrical: 110 VAC - **Install missing outlet/switch cover plate**





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## Outbuilding (Continued)

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Electrical: (continued)



## Roof

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The inspector is not required to: Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, move insulation, inspect antennae, satellite dishes, lightning arrester, de-icing equipment, or similar attachments. Walk on any roof areas that appear, in the opinion of the inspector to be unsafe, and or cause damage. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof material. Peconic Home Inspections is unable to accurately predict the remaining life of any roof. The average life span of typical roofing material is approximately 15-30 years. We suggest consulting the seller for an accurate date of installation of the roof to determine expected life remaining.

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### Whole house. Roof Surface

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Method of Inspection: Binoculars.

Acceptable      Unable to Inspect: 55% - Can not see the under layment & plywood under roofing material.

Acceptable      Material: Asphalt shingles.

Type: Cross gable.

Approximate Age: 2 years.

Acceptable      Flashing: Copper, Aluminum.

Acceptable      Valleys: Asphalt shingle.

Acceptable      Plumbing Vents: PVC.

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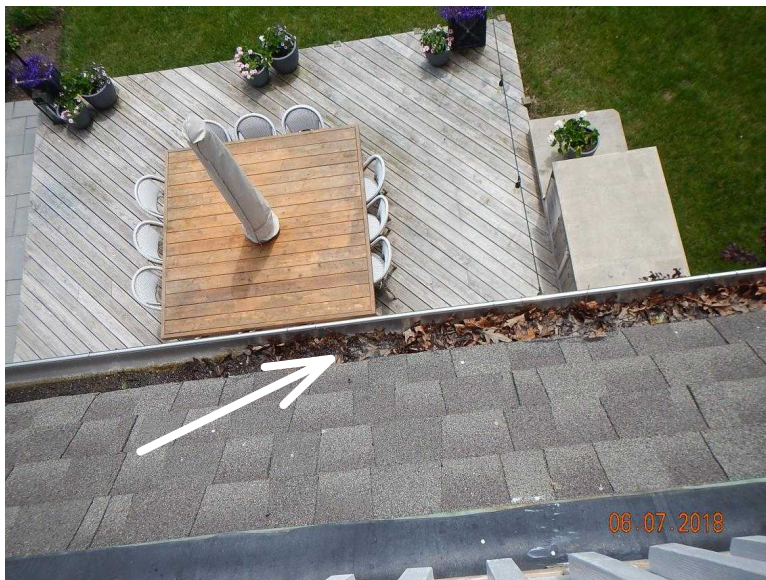
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## Roof (Continued)

Maintenance Items Gutters: Metal. Gutters need to be kept cleaned to ensure proper water flow. This should eliminated ice dams and other water damage.





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## Roof (Continued)

Maintenance Items Downspouts: Metal, some into drywells. **Divert water away from foundation. Water causes problems with foundations.**



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## Structure

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. Engineering or architectural services such as calculation of structural capacities, Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems, adequacy, or integrity of any structural system or component are not part of a home inspection. Full inspection of all structural components (posts/girders, foundation walls, sub flooring, and/or framing) is not possible in areas/rooms where there are finished walls, ceilings and floors. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons. The presence of floor covering limits the ability to fully assess slab conditions. Components located in areas not affording complete visual access without dismantling, uncovering, or the removal of storage or furnishings are expressly excluded from this report. Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems, Provide any engineering or architectural service, Report on the adequacy of any structural system or component.

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Acceptable	Structure Type: Wood frame.
Acceptable	Beams: 3-2X10.
Acceptable	Joists/Trusses: 2X10.
Acceptable	Piers/Posts: Lally columns.
Acceptable	Floor/Slab: Poured slab.
Acceptable	Stairs/Handrails: Wood stairs with metal/wood handrails

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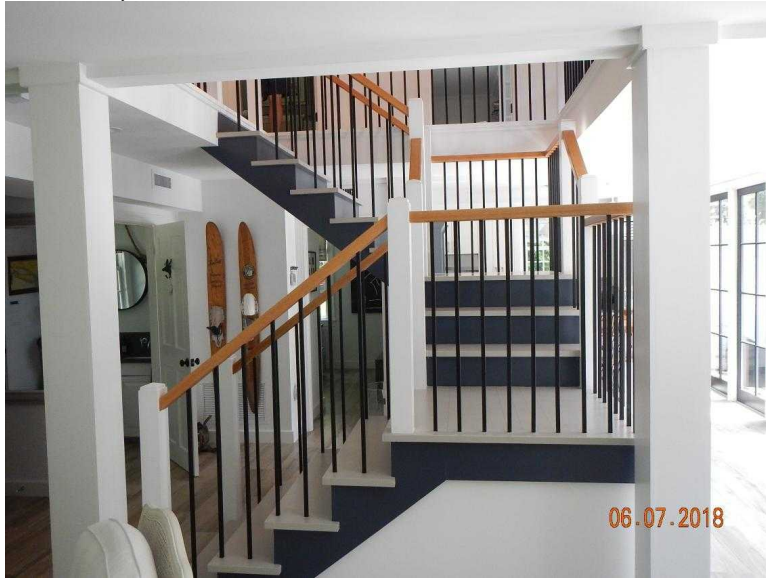
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## Structure (Continued)

Stairs/Handrails: (continued)



Acceptable

Subfloor: Plywood.



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## Electrical

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Electrical components concealed behind finished surfaces are not visible to be inspected. Labeling of electric circuit locations on Main Electrical Panel are not checked for accuracy. Only a representative sampling of outlets, switches and light fixtures were tested. Outlets plates were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. The inspector is not required to Operate over current protection devices. Operate non-accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices, verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestor. Conduct voltage drop calculations. Determine the accuracy of breaker labeling. Inspect exterior lighting or Security alarm systems. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified electrical contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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Acceptable

Service Entrance: Under ground utilities.



Service Size Amps: 200 amps. Volts: 110-240 VAC.

Acceptable Service: Aluminum.

Acceptable 120 VAC Branch Circuits: Copper.

Acceptable 240 VAC Branch Circuits: Copper.

Acceptable Aluminum Wiring: Service to panel.

Acceptable Conductor Type: Romex.

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## Electrical (Continued)

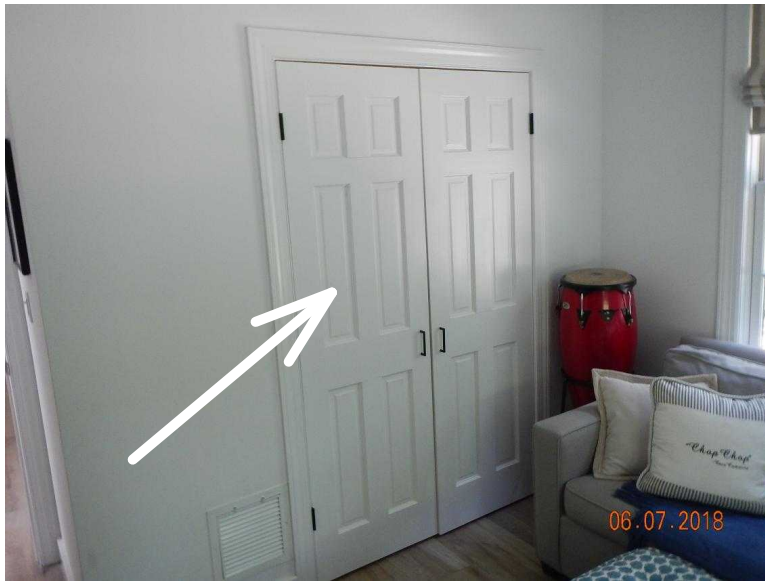
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Acceptable      Ground: Rod in ground observed.

1st floor Utility Closet      Electric Panel

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Acceptable      Manufacturer: Crouse-Hines.



Maximum Capacity: 200 amps.

Acceptable      Main Breaker Size: 200 amps.



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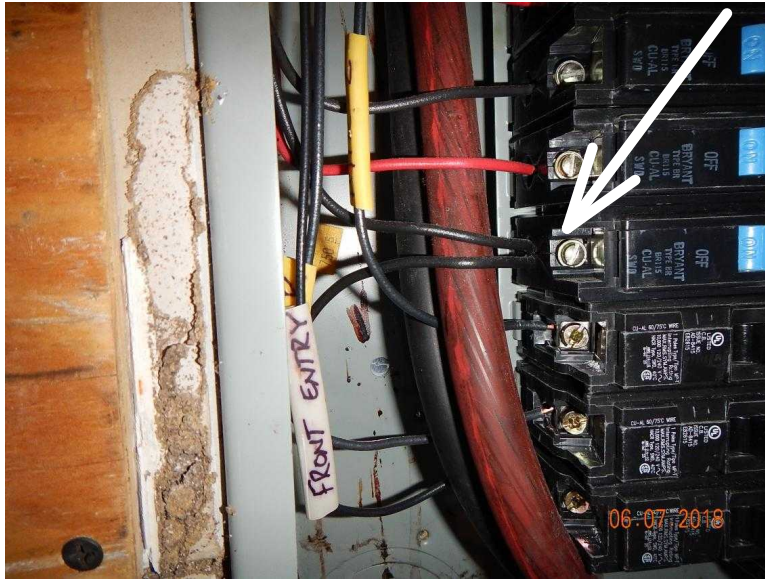
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## Electrical (Continued)

Defective

Breakers: Copper and Aluminum. Double taps are present at breakers. These circuits need to be moved to their own circuit breaker and cannot share a breaker. It is recommended that a qualified electrician inspect the new circuits and properly connect the new circuits to an individual breaker for each circuit



Not Present

AFCI:

Not Present

GFCI:

Pool House - Sub Panel Electric Panel

Defective

Manufacturer: Square D. Sub Panel - Ground and neutral are not isolated in sub panel. Evaluation by a licensed electrician is recommended



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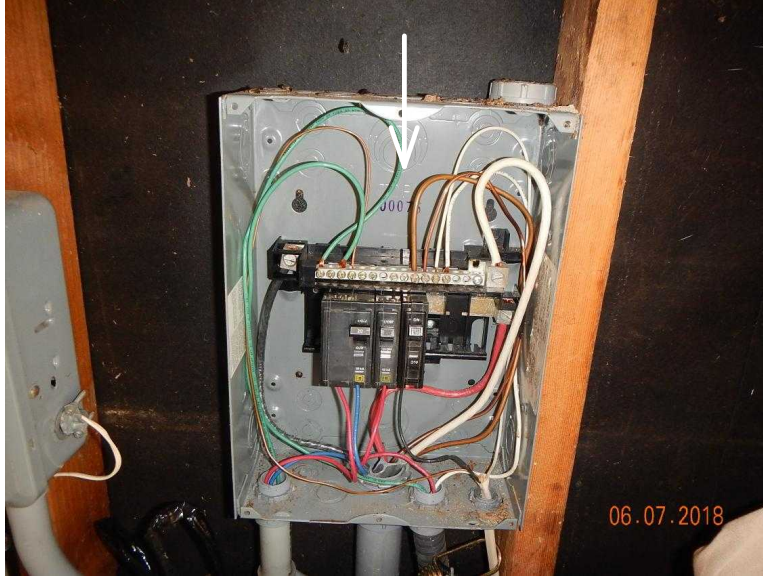
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## Electrical (Continued)

Manufacturer: (continued)



Acceptable  
Acceptable  
Not Present  
Not Present

Main Breaker Size: In main panel.  
Breakers: Copper and Aluminum.  
AFCI:  
GFCI:

## Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily operable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

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Central A/C - part of 1 Air Handler Unit in Attic and 1 in utility closet. AC System

Acceptable A/C System Operation: Functional at the time of inspection.



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## Air Conditioning (Continued)

Acceptable

Condensate Removal: PVC, Plastic tubing, Electric pump.



Acceptable

Exterior Unit: Side of house. Pad mounted.



Manufacturer: Rheem.

Model Number: RA1324AJ1NA Serial Number: W221619328

Area Served: 1st floor. Approximate Age: 2 years

Model Number: RA1336AJ1NA Serial Number: W161719340

Area Served: 2nd & 3rd floor Approximate Age: 1 year.

Fuel Type: R-410A, 208 - 230vac. Temperature Differential: 15

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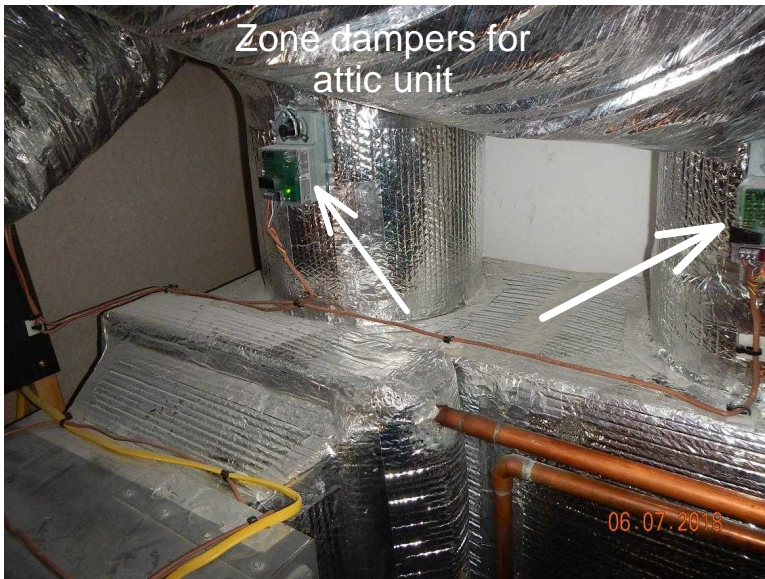
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## Air Conditioning (Continued)

Type: Central A/C - part of 1 Air Handler Unit in Attic and 1 in utility closet. Capacity: 3 Ton/ 2 Ton



Acceptable  
Acceptable  
Acceptable  
Acceptable

Visible Coil: Aluminum core with aluminum fins.  
Refrigerant Lines: Insulated and in proper condition.  
Electrical Disconnect: Local disconnect.  
Exposed Ductwork: Insulated flex.



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## Air Conditioning (Continued)

Acceptable

Blower Fan/Filters: Direct drive with disposable filter, Filters are in the return grills.



Acceptable

Thermostats: 3 zones, Programmable

1st Floor



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## Air Conditioning (Continued)

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Thermostats: (continued)





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## Heating System

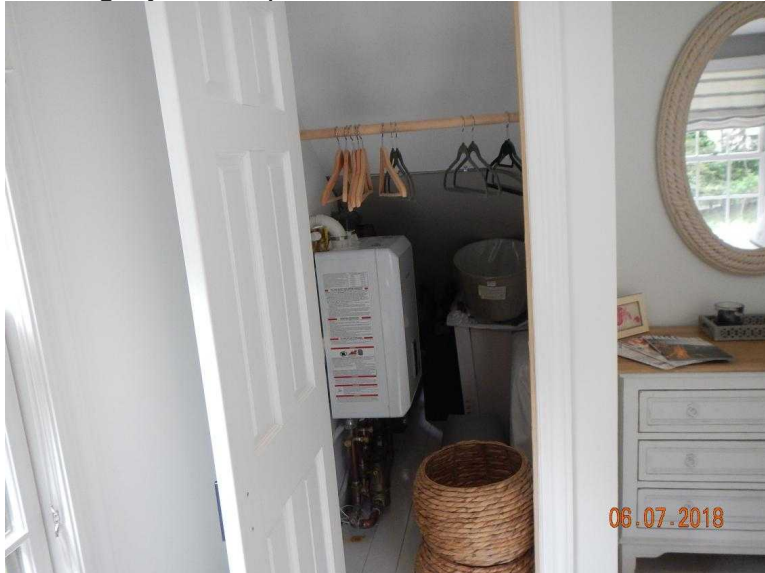
The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily operable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms. The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Heat exchanger in a hot air furnace cannot be fully assessed due to design constraints and therefore are not within the scope of a standard inspection. No calculations are performed to determine the adequacy or efficiency of the heating system.

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### 2nd floor bedroom closet Heating System

Acceptable Heating System Operation: Functional at the time of the inspection.



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## Heating System (Continued)

Heating System Operation: (continued)



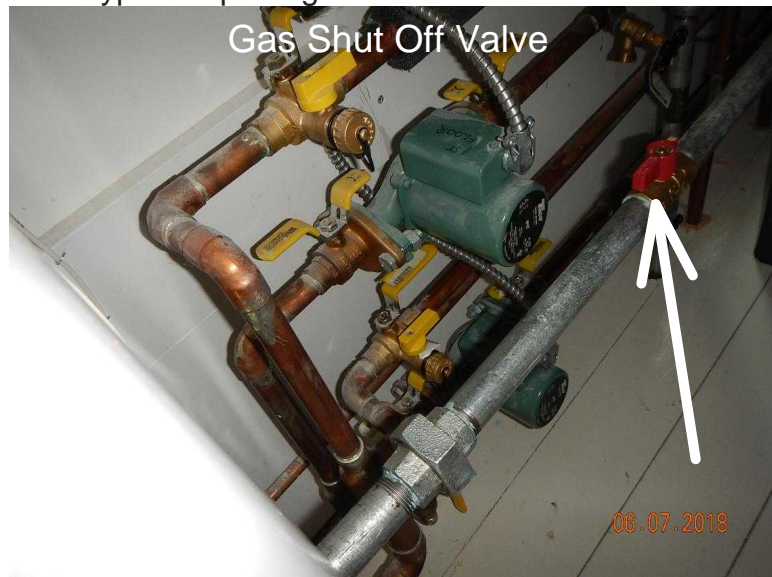
Manufacturer: Navien

Model Number: NCB-240E Serial Number: 6610A1721081017

Type: Gas fired instantaneous Hot Water Heater and to AHU coil. Capacity: 112,000 BTU/HR

Area Served: Whole building. Approximate Age: One year.

Fuel Type: Propane gas.



Acceptable

Distribution: Copper piping to Air Handling HW coils.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

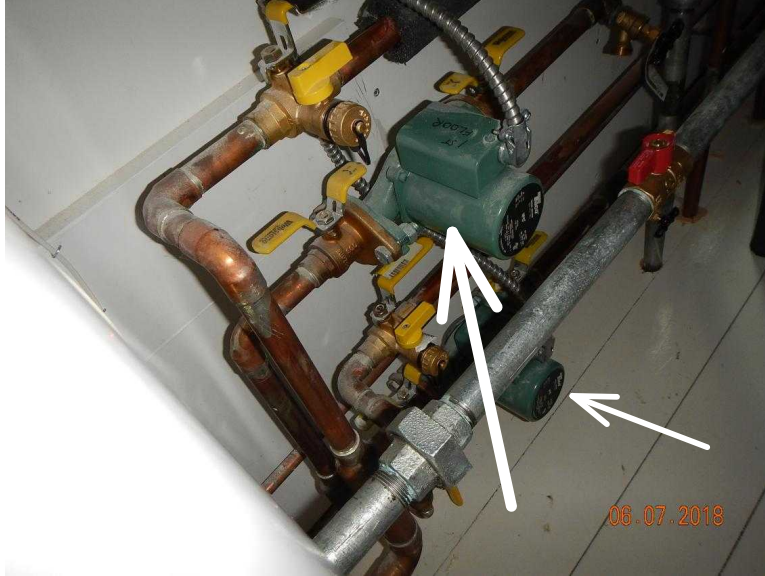
123 Lane

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## Heating System (Continued)

Acceptable

Circulator: 2 Pumps. Supply hot water coils on the 2 air handling units..



Acceptable

Draft Control: Induced draft fan

Acceptable

Flue Pipe: Direct vent, PVC



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Heating System (Continued)

---

Flue Pipe: (continued)



Acceptable

Controls: Functional at the time of the inspection.

Acceptable

Thermostats: 3, Programmable.

Acceptable

Fuel Tank: Propane tank.

Tank Location: Propane tank in ground - side yard.

## Plumbing

---

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate most plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials. The Inspector does not determine the exact flow rate, volume, pressure, temperature, or adequacy of any gas, water, drainage, plumbing systems. The Inspector does not evaluate water, gas, liquid propane or oil storage tanks. Also The sections of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Plumbing (Continued)

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable Functional with no obvious signs of defect.

Not Present Item not present or not found.

Not Inspected Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

Safety Item is a safety issues and should be corrected.

Defective Item needs immediate repair or replacement. It is unable to perform its intended function.

Marginal Item is not fully functional and requires repair or servicing.

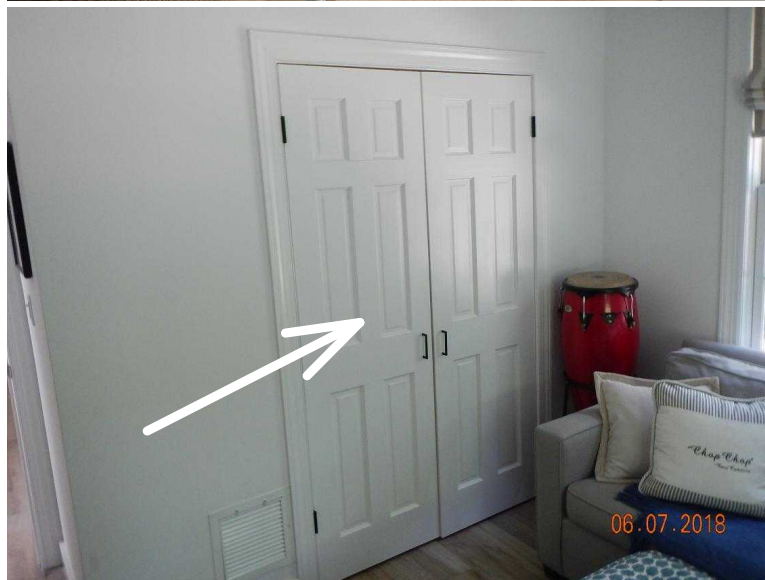
Maintenance Items Item requires maintenance and servicing.

Acceptable

Acceptable

Service Line: Copper.

Main Water Shutoff: 1st floor utility closet



Not Inspected

Well Pump Submersible pump. Outside of house, Not accessible. Could not locate well head. Ask Owner.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Plumbing (Continued)

---

Acceptable  
Not Inspected

Water Lines: Copper, Pex.

Water Filter Whole house conditioner. **Should be Serviced regularly. See manufactures recommendations. Ask Owner for paper work.**



Acceptable  
Acceptable  
Acceptable  
2nd floor bedroom  
Acceptable

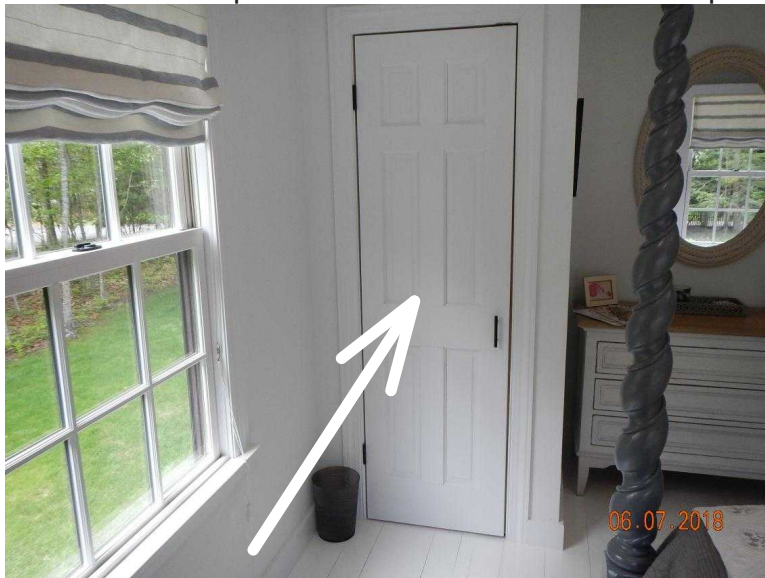
Drain Pipes: PVC.

Vent Pipes: PVC.

Gas Service Lines: Galvanized, Black pipe, Insulflex

Water Heater

Water Heater Operation: Functional at time of inspection.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Plumbing (Continued)

Water Heater Operation: (continued)



Manufacturer: Navien

Type: Gas, Propane, Instantaneous hot water heater Capacity: 199,900 BTUH

Approximate Age: 1 year. Area Served: Whole building.

Acceptable Flue Pipe: Direct vent, PVC

Acceptable TPRV and Drain Tube: Copper and properly installed.

Acceptable Hot Water Temperature 118 Deg F.





# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bathroom

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable Functional with no obvious signs of defect.

Not Present Item not present or not found.

Not Inspected Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

Safety Item is a safety issues and should be corrected.

Defective Item needs immediate repair or replacement. It is unable to perform its intended function.

Marginal Item is not fully functional and requires repair or servicing.

Maintenance Items Item requires maintenance and servicing.

### 3rd floor. Bathroom

Acceptable

Closet: Bedroom

Acceptable

Ceiling: Paint on sheet rock.

Acceptable

Walls: Paint on sheet rock.

Acceptable

Floor: Painted wood.

Acceptable

Doors: Wood.

Acceptable

Windows: Vinyl casement.

Acceptable

Electrical: 110 VAC GFCI, Functional at the time of the inspection.

Acceptable

Counter/Cabinet: No problems observed.



Acceptable

Sink/Basin: Molded dual bowl.

Acceptable

Faucets/Traps: Functional at the time of the inspection.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bathroom (Continued)

Acceptable, Maintenance Items Shower/Surround: Complete tile, with glass doors. Grout/caulking is required in some areas. Glass door does not line up with tile wall. Large gap.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bathroom (Continued)

---

Shower/Surround: (continued)



Acceptable

Toilets: Functional at the time of the inspection.



Acceptable

HVAC Source: HVAC grills.

Acceptable

Ventilation: Window.

2nd floor - hallway. Bathroom

---



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bathroom (Continued)

Acceptable

Closet: In hallway.



Acceptable  
Acceptable  
Acceptable  
Acceptable  
Acceptable  
Defective  
Acceptable  
Acceptable  
Acceptable  
Acceptable

Ceiling: Paint on sheet rock.  
Walls: Paint on sheet rock.  
Floor: Painted wood.  
Doors: Wood.  
Windows: Vinyl double hung.  
Electrical: 110 VAC GFCI - **Faulty GFCI outlet-replace**  
Counter/Cabinet: No problems observed.  
Sink/Basin: Functional at the time of the inspection.  
Faucets/Traps: Functional at the time of the inspection.  
Shower/Tub/Surround: Functional at the time of the inspection.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bathroom (Continued)

---

Shower/Tub/Surround: (continued)



Acceptable

Acceptable

Acceptable

2nd floor Junior Master. Bathroom

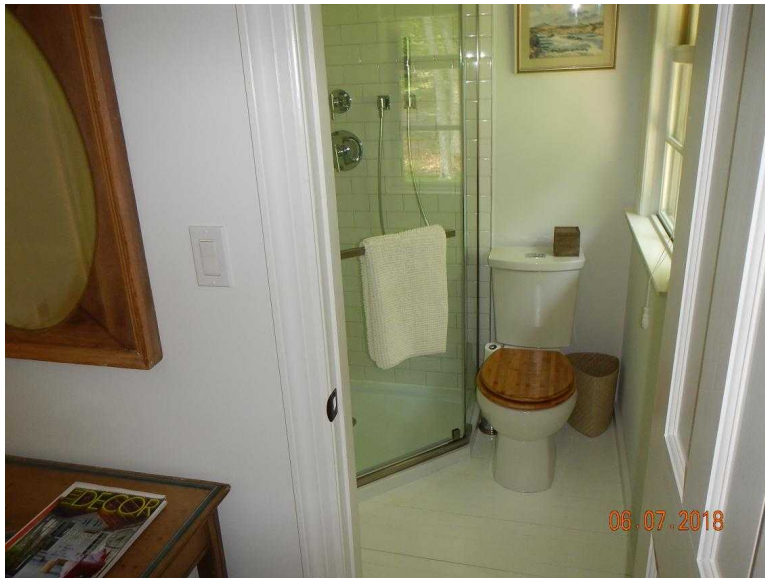
Acceptable

Toilets: Functional at the time of the inspection.

HVAC Source: HVAC grills.

Ventilation: Window.

Closet: Bedroom



Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

Ceiling: Paint on sheet rock.

Walls: Paint on sheet rock.

Floor: Painted wood.

Doors: Wood.

Windows: Vinyl double hung.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bathroom (Continued)

Acceptable

Electrical: 110 VAC GFCI, Functional at the time of the inspection.



Acceptable

Counter/Cabinet: No problems observed.

Acceptable

Sink/Basin: Functional at the time of the inspection.

Acceptable

Faucets/Traps: Functional at the time of the inspection.

Acceptable

Shower/Surround: Complete tile, with glass doors.





# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bathroom (Continued)

---

Shower/Surround: (continued)



Acceptable

Toilets: Functional at the time of the inspection.



Acceptable

HVAC Source: HVAC grills.

Acceptable

Ventilation: Window.

1st floor. Half Bathroom

---

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bathroom (Continued)

Acceptable

Closet: In hallway.



Acceptable  
Acceptable  
Acceptable  
Acceptable  
Acceptable  
Defective  
Acceptable

Ceiling: Paint on sheet rock.

Walls: Paint on sheet rock.

Floor: Tile.

Doors: Wood.

Windows: Vinyl double hung.

Electrical: 110 VAC GFCI - **Faulty GFCI outlet-replace**

Counter/Cabinet: No problems observed.



Acceptable  
Acceptable

Sink/Basin: Functional at the time of the inspection.

Faucets/Traps: Functional at the time of the inspection.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bathroom (Continued)

---

Acceptable

Toilets: Functional at the time of the inspection.



Acceptable  
Acceptable

HVAC Source: HVAC grills.  
Ventilation: Window.

## Bedroom

---

Carpeted floors and other floor, wall and ceiling covering limit the ability to assess conditions. Smoke and carbon monoxide detectors are generally recommended for all houses, no determination of smoke/carbon monoxide detectors operation/placement was made, unless otherwise noted. An assessment of detectors should be made prior to occupancy.

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable	Functional with no obvious signs of defect.
Not Present	Item not present or not found.
Not Inspected	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
Safety	Item is a safety issue and should be corrected.
Defective	Item needs immediate repair or replacement. It is unable to perform its intended function.
Marginal	Item is not fully functional and requires repair or servicing.
Maintenance Items	Item requires maintenance and servicing.

2nd floor Junior Master. Bedroom

---



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Bedroom (Continued)

---

Acceptable

Closet: Double door.



Acceptable

Ceiling: Paint on sheet rock.

Acceptable

Walls: Paint on sheet rock.

Acceptable

Floor: Painted wood.

Acceptable

Doors: Wood.

Acceptable

Windows: Vinyl double hung.

Acceptable

Electrical: Functional at the time of the inspection.

Acceptable

HVAC Source: HVAC grills.

2nd floor right rear side. Bedroom

Acceptable

Closet: Walk In.

---



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

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## Bedroom (Continued)

---

Closet: (continued)



Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

2nd floor left rear side. Bedroom

Acceptable

Ceiling: Paint on sheet rock.

Walls: Paint on sheet rock.

Floor: Painted wood.

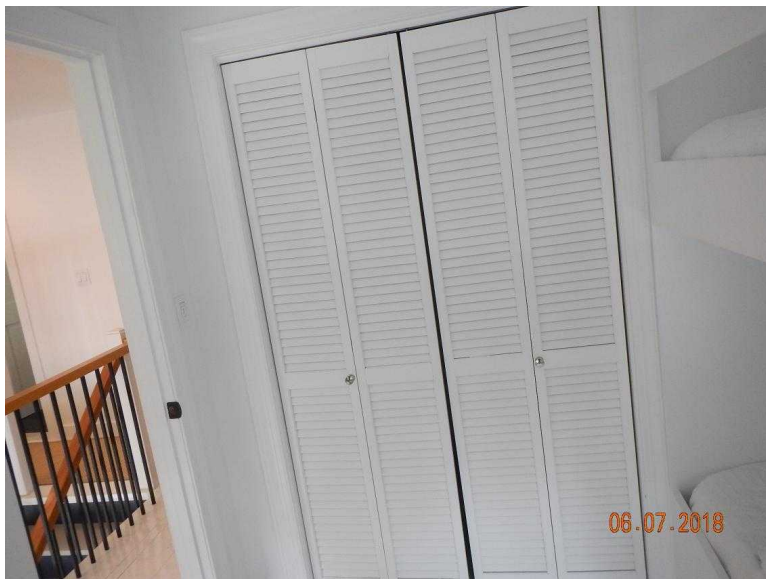
Doors: Wood.

Windows: Vinyl double hung.

Electrical: Functional at the time of the inspection.

HVAC Source: HVAC grills.

Closet: Bifold



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

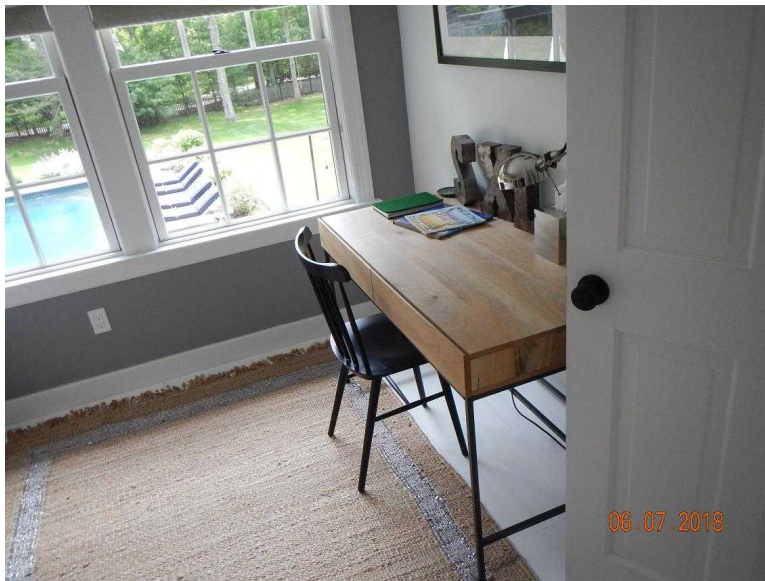
123 Lane

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## Bedroom (Continued)

---

Closet: (continued)



Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

3rd floor Master. Bedroom

---

Ceiling: Paint on sheet rock.

Walls: Paint on sheet rock.

Floor: Painted wood.

Doors: Wood.

Windows: Vinyl double hung.

Electrical: Functional at the time of the inspection.

HVAC Source: HVAC grills.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

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## Bedroom (Continued)

Acceptable, Maintenance Items Closet: Walk In., Knee wall storage. **Fix hinges on knee wall doors**



Acceptable  
Acceptable  
Acceptable  
Not Present  
Acceptable  
Acceptable  
Acceptable

Ceiling: Paint on sheet rock.  
Walls: Paint on sheet rock.  
Floor: Painted wood.  
Doors:  
Windows: Vinyl double hung.  
Electrical: Functional at the time of the inspection.  
HVAC Source: HVAC grills.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

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## Kitchen

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: complete cycles on appliances, clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

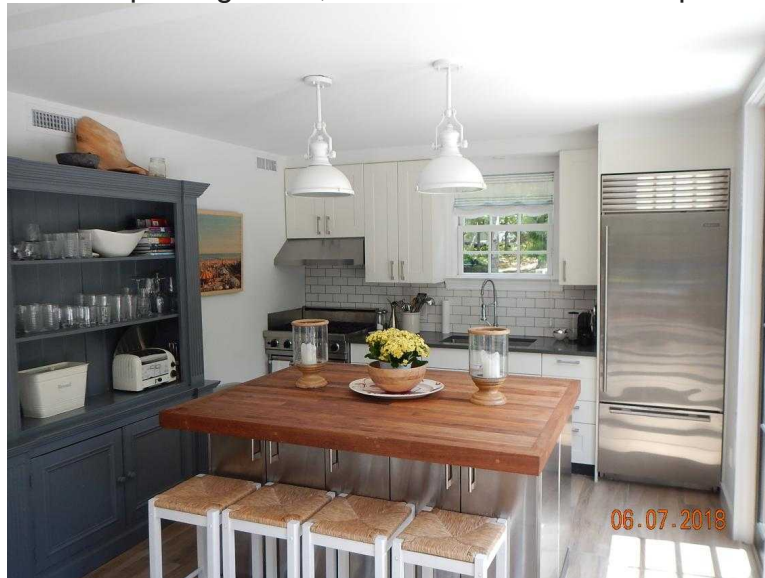
NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

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Not Present	Item not present or not found.
Not Inspected	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
Safety	Item is a safety issues and should be corrected.
Defective	Item needs immediate repair or replacement. It is unable to perform its intended function.
Marginal	Item is not fully functional and requires repair or servicing.
Maintenance Items	Item requires maintenance and servicing.

Rear of house. Kitchen

Acceptable

Cook Top/Range Gas, Functional at time of inspection.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

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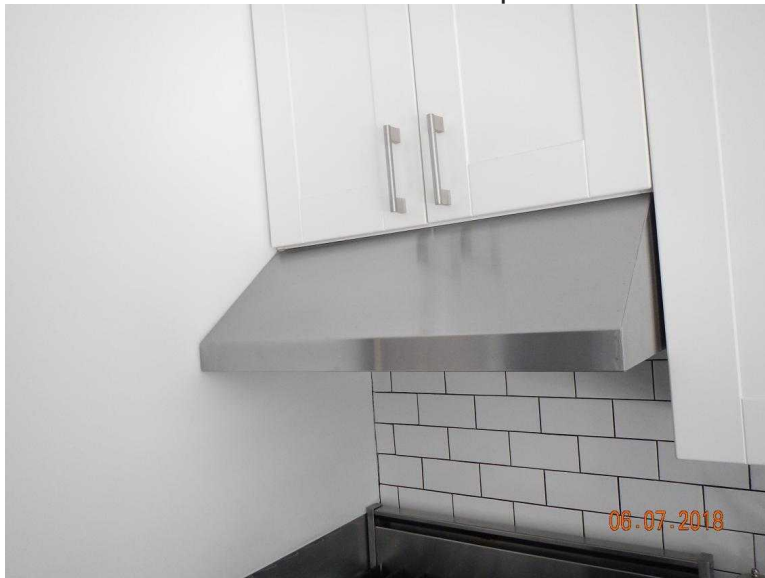
## Kitchen (Continued)

Cook Top/Range (continued)



Acceptable  
Acceptable

Oven Functional at time of inspection.  
Ventilator: Functional at time of inspection.





# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

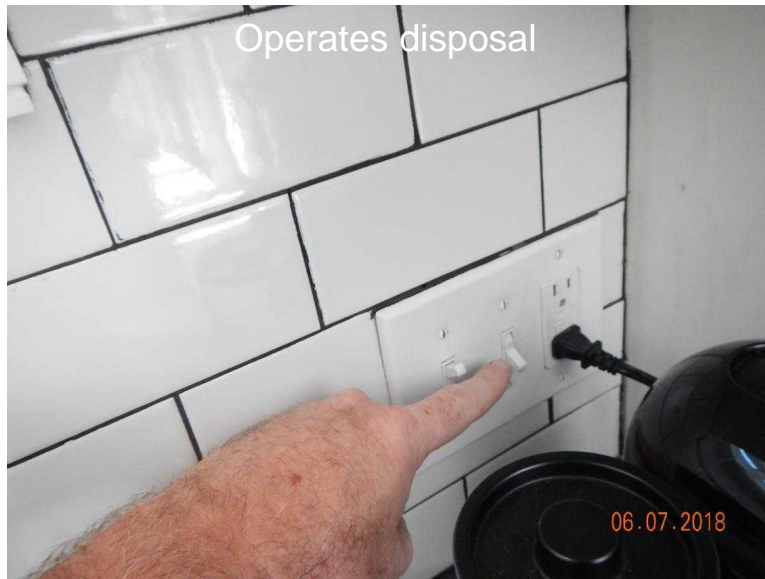
123 Lane

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## Kitchen (Continued)

Acceptable

Disposal: Functional at time of inspection.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

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## Kitchen (Continued)

---

Acceptable

Dishwasher: Functional at time of inspection.



Acceptable

Refrigerator: Functional at time of inspection.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Kitchen (Continued)

Acceptable

Sink: Functional at time of inspection.



Defective

Electrical: 110 VAC GFCI Not functional at the time of the inspection. **A licensed electrician is recommended to evaluate.**



Acceptable  
Acceptable  
Acceptable  
Acceptable  
Acceptable  
Acceptable  
Acceptable  
Acceptable  
Acceptable

Plumbing/Fixtures: Functional at time of inspection.  
Counter Tops: No problems observed., Quartz.  
Cabinets: No problems observed.  
Ceiling: Paint on sheet rock.  
Walls: Paint on sheet rock, Tile back splash.  
Floor: Tile.  
Doors: French Door.  
Windows: Vinyl double hung.  
HVAC Source: HVAC grills.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Living Space

Carpeted floors and other floor, wall and ceiling covering limit the ability to assess conditions. Smoke and carbon monoxide detectors are generally recommended for all houses, no determination of smoke/carbon monoxide detectors operation/placement was made, unless otherwise noted. An assessment of detectors should be made prior to occupancy. The inspector is not required to: Inspect paint, wallpaper, window treatments or finish treatments. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Evaluate the fastening of countertops, cabinets, sink tops and fixtures, or firewall compromises. Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move drop ceiling tiles. Inspect or move any household appliances. Inspect or operate equipment housed in the garage except as otherwise noted. Verify or certify safe operation of any auto reverse or related safety function of a garage door. Operate or evaluate security bar release and opening mechanisms, whether interior or exterior, including compliance with local, state, or federal standards. Operate any system, appliance or component that requires the use of special keys, codes, combinations, or devices. Inspect elevators. Inspect remote controls. Inspect appliances. Inspect items not permanently installed.

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable Functional with no obvious signs of defect.

Not Present Item not present or not found.

Not Inspected Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

Safety Item is a safety issue and should be corrected.

Defective Item needs immediate repair or replacement. It is unable to perform its intended function.

Marginal Item is not fully functional and requires repair or servicing.

Maintenance Items Item requires maintenance and servicing.

### Living Room. Living Space

Acceptable

Closet: In hallway.



Acceptable

Ceiling: Paint on sheet rock.

Acceptable

Walls: Paint on sheet rock.

Acceptable

Floor: Tile.

Acceptable

Windows: Vinyl double hung.

Acceptable

Electrical: Functional at the time of the inspection.

Acceptable

HVAC Source: HVAC grills.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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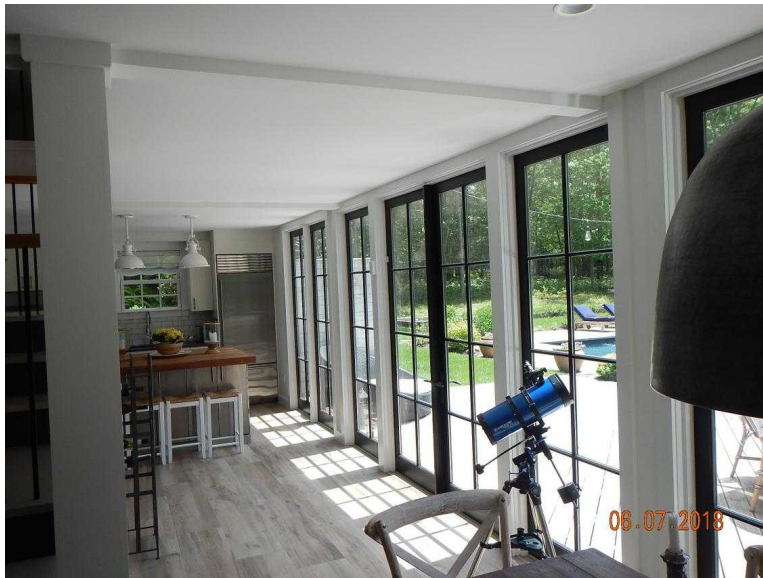
## Living Space (Continued)

---

Dining room. Living Space

Acceptable

Closet: In hallway.



Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

Acceptable

Den Living Space

---

Ceiling: Paint on sheet rock.

Walls: Paint on sheet rock.

Floor: Tile.

Doors: French Door.

Windows: Vinyl double hung.

Electrical: Functional at the time of the inspection.

HVAC Source: HVAC grills.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

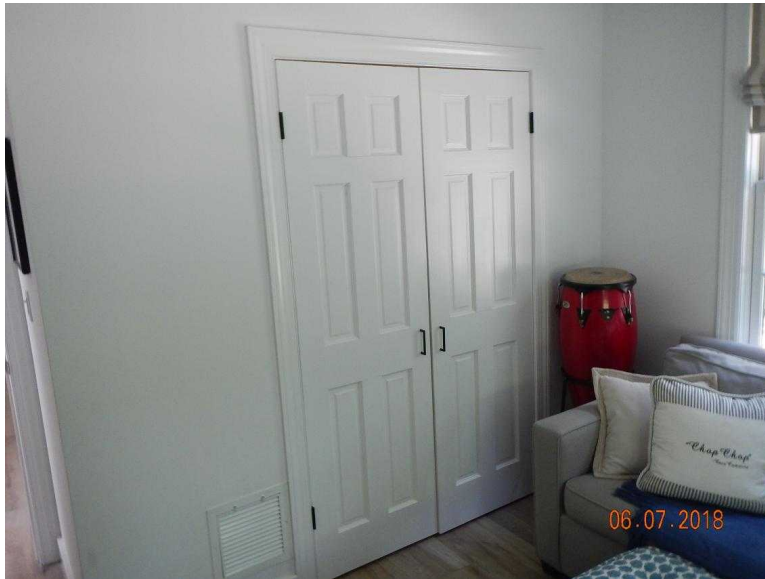
123 Lane

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## Living Space (Continued)

Acceptable

Closet: Utility Closet



Acceptable

Ceiling: Paint on sheet rock.

Acceptable

Walls: Paint on sheet rock.

Acceptable

Floor: Tile.

Acceptable

Doors: Wood.

Acceptable

Windows: Vinyl double hung.

Acceptable

Electrical: Functional at the time of the inspection.

Acceptable

HVAC Source: HVAC grills.

Study Living Space



# Peconic Home Inspections, LLC

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123 Lane

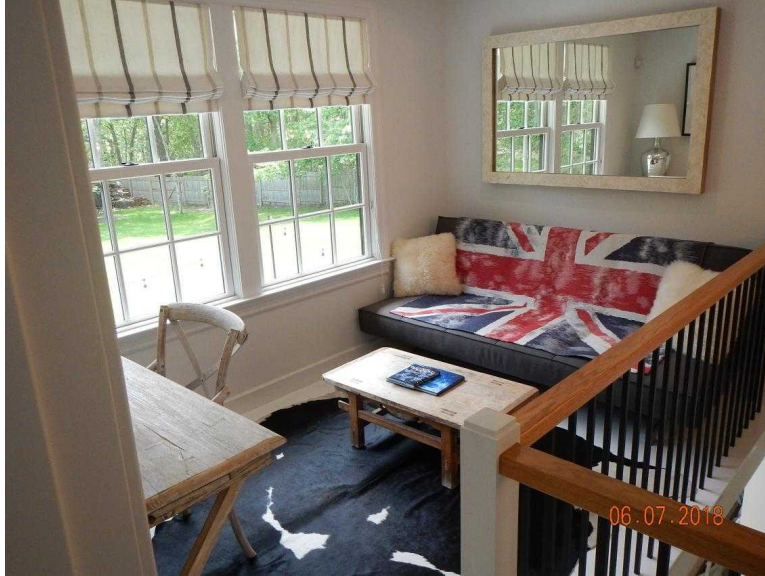
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## Living Space (Continued)

---

Acceptable

Closet: In hallway.



Acceptable

Ceiling: Paint on sheet rock.

Acceptable

Walls: Paint on sheet rock.

Acceptable

Floor: Painted wood.

Acceptable

Windows: Vinyl double hung.

Acceptable

Electrical: Functional at the time of the inspection.

Acceptable

HVAC Source: HVAC grills.

## Laundry Room/Area

---

Inspector does not run units for a full cycle. The Inspector just check to see if units turn on.

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable

Functional with no obvious signs of defect.

Not Present

Item not present or not found.

Not Inspected

Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

Safety

Item is a safety issues and should be corrected.

Defective

Item needs immediate repair or replacement. It is unable to perform its intended function.

Marginal

Item is not fully functional and requires repair or servicing.

Maintenance Items

Item requires maintenance and servicing.

2nd floor . Laundry Room/Area

---

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

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## Laundry Room/Area (Continued)

Acceptable

Closet: Shelves.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Laundry Room/Area (Continued)

Closet: (continued)



Acceptable  
Acceptable  
Acceptable  
Acceptable  
Acceptable  
Acceptable

Ceiling: Paint on sheet rock.  
Walls: Paint on sheet rock.  
Floor: Wood.  
Doors: Bi-fold.  
Electrical: Functional at the time of the inspection.  
Washer Hose Bib: Ball valves.



Acceptable

Washer and Dryer Electrical: Functional at the time of the inspection.



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Laundry Room/Area (Continued)

Acceptable

Dryer Vent: Plastic flex - **It is recommended that the flex venting be changed to a rigid piping. Fire/Safety issue.**



Acceptable  
Not Present

Washer Drain: Drains to main drain system .  
Floor Drain:

## Pool

The inspector is not required to: Examine or operate any above-ground, movable, freestanding, or otherwise non-permanently installed pool/spa, recreational equipment or self-contained equipment. Come into contact with any pool or spa water in order to determine the system structure or components. Determine the adequacy of spa jet water force or bubble effect. Determine the structural integrity or leakage of a pool or spa.

The pool was check, water level bucket test, over 1.5 days for leaks.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Pool (Continued)

---

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable                      Functional with no obvious signs of defect.

Not Present                    Item not present or not found.

Not Inspected                Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.

Safety                          Item is a safety issues and should be corrected.

Defective                      Item needs immediate repair or replacement. It is unable to perform its intended function.

Marginal                      Item is not fully functional and requires repair or servicing.

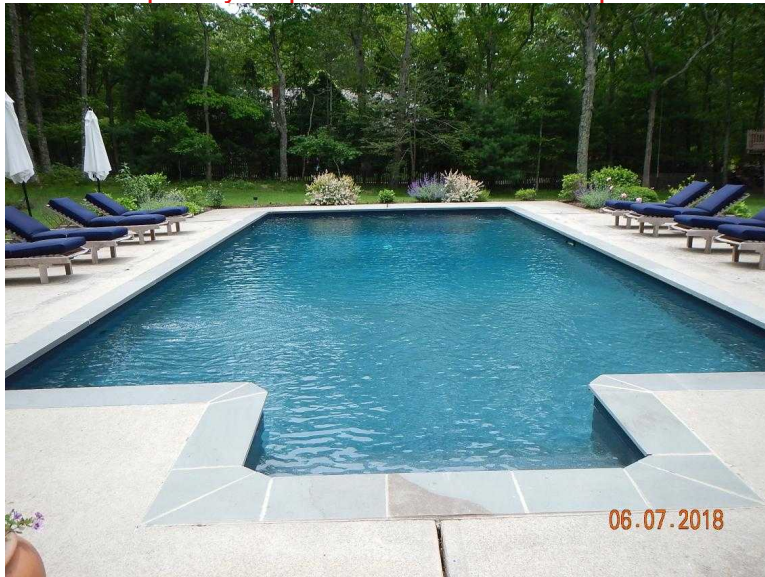
Maintenance Items        Item requires maintenance and servicing.

### Back yard. Swimming Pool

---

Acceptable

Type: In ground. **ALL DOORS LEADING TO POOL AREA NEED TO HAVE AN ALARM AND ALL GATES NEED TO BE SELF CLOSING AND OPEN OUTWARDS.** Pool & equipment should be checked, cleaned, serviced & chemicals check frequently. A professional licensed pool contractor should be consulted.



Current Status: Operational.

Acceptable                    Liner: Vinyl.

Acceptable                    Deck: Concrete.

Acceptable                    Coping: Blue stone tiles.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

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## Pool (Continued)

Acceptable, Maintenance Items Skimmer: Plastic, Functional at time of inspection. Chlorine tabs should be placed in auto chlorinator and not the return skimmers especially if there is a heater.





# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Pool (Continued)

Acceptable, Maintenance Items Pump Motor: Functional at time of inspection. **Basket needs to be cleaned**



# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

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## Pool (Continued)

Acceptable

Filter: Functional at time of inspection.

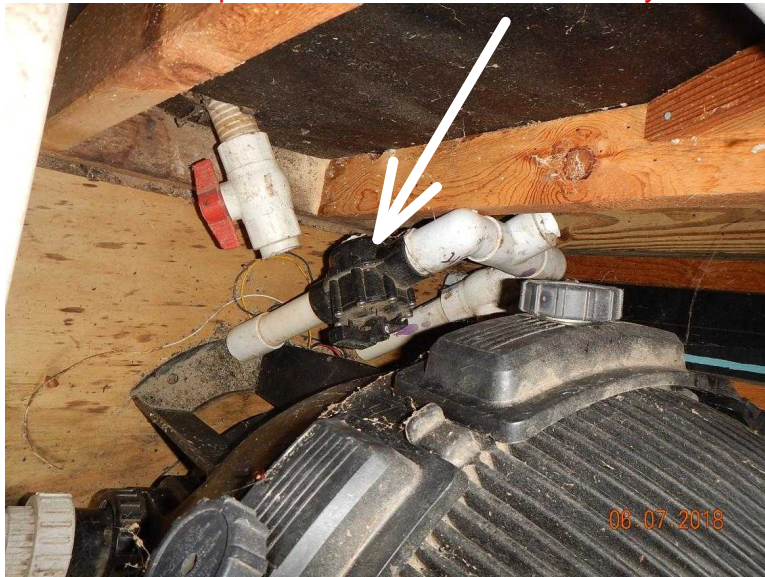


Not Inspected  
Not Present  
Defective

Pool light: Not checked. Could not located switch. Ask Owner to show operation.

Heater:

Gauges and Controls: Removed - This needs to be reinstalled into the system if functional or replaced and installed into the system





# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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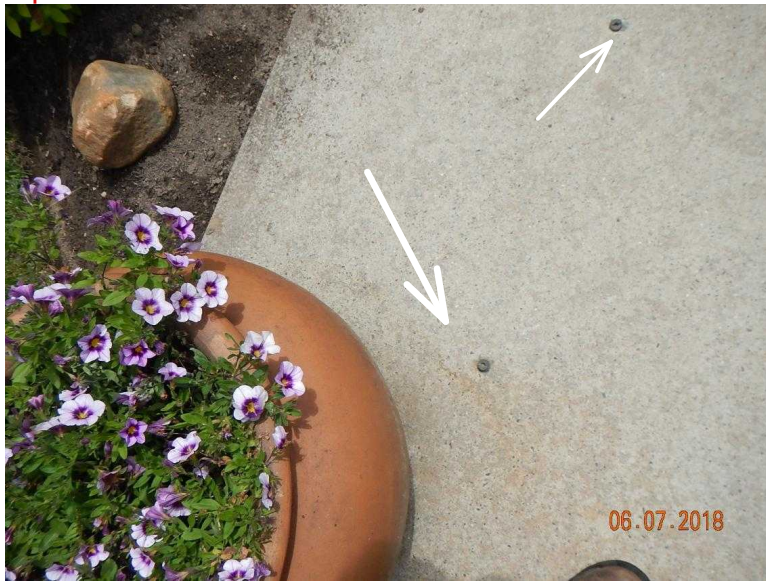
## Pool (Continued)

Acceptable, Safety Ladder/Steps: Steps no ladders. **Ladder not installed. Safety issues for deep end**



Not Present

Pool Enclosure: Loop Lock cover. **Cover anchors need to be fully turned in to avoid trip hazard.**





# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Final Comments

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The Pre-Inspection Agreement is part of the Inspection Report. This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. This inspection does not determine and excludes all work related to the following: Property Boundaries, Titles, Zoning, Permits, CO's, Easements, Covenants & Restrictions. For information regarding the negotiability of any item in this report under a real estate purchase contract, contact your real estate agent or an attorney. Each bedroom, common stairways and hallways should have a smoke detectors. CO2 sensors should also be placed in the same areas. They should be tested frequently and the batteries changed at least once a year. Need to ask Owner the last time the Septic system was cleaned/pumped out. Earth/wood contact, may attract wood destroying insects. Recommend that soil is 6 inches away from siding or sill plates. ALL DOORS LEADING TO POOL AREA NEED TO HAVE AN ALARM AND ALL GATES NEED TO BE SELF CLOSING. Ask Owner if there are any service agreements with any systems. Covers missing. Need to install covers on all junction boxes. Exposed Wires and splice requires a junction box. Wires should be properly secured/installed. A licensed electrician is recommended to evaluate and correct. Double taps are present at breakers. 4th breaker from bottom Left side. These circuits need to be moved to their own circuit breaker and cannot share a breaker. It is recommended that a qualified electrician inspect the new circuits and properly connect the new circuits to an individual breaker for each circuit. Sub Panel - Ground and neutral are not isolated in sub panel. Evaluation by a licensed electrician is recommended. The GFCI in 1st & 2nd floor hallway bathroom did not reset. Needs to be checked/replaced. Working on fixing outside shower plumbing piping. 3rd floor bathroom shower needs grouting/caulking in some areas. Also glass door does not line up with tile wall. HVAC equipment should be inspected and serviced at least annually. Should have well water tested. The instantaneous Hot Water Heater should be serviced each year by a HVAC/Plumbing Contractor to ensure proper, efficient operation. Water filter should be serviced regularly. See manufactures recommendations. Ask Owner for paper work.

# Peconic Home Inspections, LLC

Prepared for: Mr & Mrs Smith

123 Lane

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## Safety Summary

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### Pool

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1. Back yard. Swimming Pool Ladder/Steps: Steps no ladders. Ladder not installed. Safety issues for deep end

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## Defective Summary

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### Outbuilding

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1. Back yard. Pool Shed/storage. Outbuilding Electrical: 110 VAC - **Install missing outlet/switch cover plate**

### Electrical

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2. 1st floor Utility Closet Electric Panel Breakers: Copper and Aluminum. **Double taps are present at breakers. These circuits need to be moved to their own circuit breaker and cannot share a breaker. It is recommended that a qualified electrician inspect the new circuits and properly connect the new circuits to an individual breaker for each circuit**
3. Pool House - Sub Panel Electric Panel Manufacturer: Square D. **Sub Panel - Ground and neutral are not isolated in sub panel. Evaluation by a licensed electrician is recommended**

### Bathroom

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4. 2nd floor - hallway. Bathroom Electrical: 110 VAC GFCI - **Faulty GFCI outlet-replace**
5. 1st floor. Half Bathroom Electrical: 110 VAC GFCI - **Faulty GFCI outlet-replace**

### Kitchen

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6. Rear of house. Kitchen Electrical: 110 VAC GFCI Not functional at the time of the inspection. **A licensed electrician is recommended to evaluate.**

### Pool

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7. Back yard. Swimming Pool Gauges and Controls: Removed - **This needs to be reinstalled into the system if functional or replaced and installed into the system**



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## Maintenance Items Summary

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### Lots and Grounds

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1. Grading: Minor slope towards the front right corner of house. Improper soil slope towards foundation, recommend landscaping to divert moisture from running towards foundation.

### Exterior Surface and Components

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2. All locations. Exterior Surface Type: Cedar shakes. Earth/wood contact, may attract wood destroying insects. Recommend that soil is 6 inches away from siding or sill plates.

### Roof

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3. Gutters: Metal. Gutters need to be kept cleaned to ensure proper water flow. This should eliminated ice dams and other water damage.
4. Downspouts: Metal, some into drywells. Divert water away from foundation. Water causes problems with foundations.

### Bathroom

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5. 3rd floor. Bathroom Shower/Surround: Complete tile, with glass doors. Grout/caulking is required in some areas. Glass door does not line up with tile wall. Large gap.

### Bedroom

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6. 3rd floor Master. Bedroom Closet: Walk In., Knee wall storage. Fix hinges on knee wall doors

### Pool

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7. Back yard. Swimming Pool Skimmer: Plastic, Functional at time of inspection. Chlorine tabs should be placed in auto chlorinator and not the return skimmers especially if there is a heater.
8. Back yard. Swimming Pool Pump Motor: Functional at time of inspection. Basket needs to be cleaned